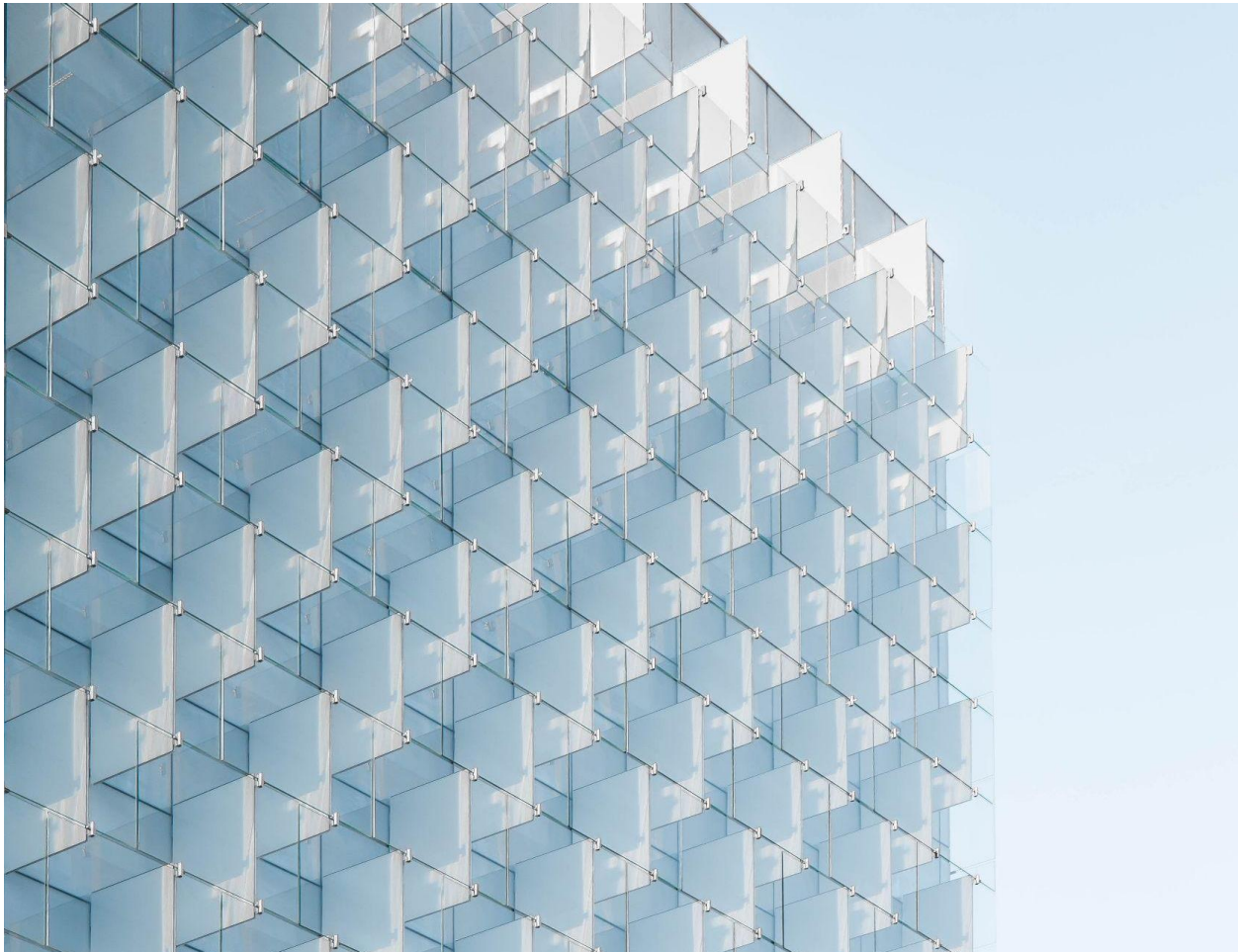


WILLOWTREE PLANNING



27 February 2025

Ref: WTJ24-369
Contact: Cameron Gray



STATEMENT OF ENVIRONMENTAL EFFECTS:

ALTERATIONS AND ADDITIONS TO THE EXISTING NSW STATE EMERGENCY SERVICE ZONE HEADQUARTERS FACILITY

56-58 Knox Street, Goulburn
Lot 408 DP821783

—
Prepared by Willowtree Planning Pty Ltd
on behalf of NSW State Emergency Service

ACN: 146 035 707 ABN: 54 146 035 707
Suite 204, Level 2, 165 Walker Street
North Sydney, NSW 2060

enquiries@willowtp.com.au
willowtreeplanning.com.au
02 9929 6974






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STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

In the spirit of reconciliation and recognition, Willowtree Planning acknowledges the Traditional Owners of this Country throughout Australia and their continuing and ongoing connections to land, waters and community. We show our respect to Elders - past and present. We acknowledge that we stand on this Country which was and always will be recognised as Aboriginal Land. We acknowledge the Traditional Owners of the Lands in this Local Government Area, belonging to the Gadigal and Birrabirragal People, where this proposal is located upon.

DOCUMENT CONTROL TABLE			
Document Reference:	WTJ24-369_SEE_V4		
Contact	Cameron Gray		
Version and Date	Prepared by	Checked by	Approved by
Version No. 1 - 21 November 2024	Mansi Karna Town Planner	Cameron Gray Associate Director	Cameron Gray Associate Director
Version No. 2 - 28 January 2025	Orla McCafferty Town Planner	Cameron Gray Associate Director	
Version No. 3 - 31 January 2025	Orla McCafferty Town Planner	Cameron Gray Associate Director	
Version No. 4 - 5 February 2025	Orla McCafferty Town Planner	Cameron Gray Associate Director	
			

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STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

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2	Civil Design Plans	TTW Engineers
3	Structural Design Plans	TTW Engineers
4	Mechanical and Electrical Design Plans	VOS Group
5	Landscape Plan	Paul Scrivener Landscape
6	Car Parking Plan	TTW Engineers
7	Goulburn Mulwaree Development Control Plan 2009 Assessment Table	Willowtree Planning



STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

8	Traffic Impact Statement	TTW Engineers
9	Hazardous Materials Assessment	EDP
10	Waste Management Plan	Cushman & Wakefield
11	Site Survey	Cooper & Richards Surveyors
12	Noise Impact Assessment	WSP Australia Pty Ltd
13	BCA Capability Statement	MBC Group
14	Access Capability Statement	MBC Group
15	Fire Engineering Statement	ADP Consulting
16	QS Cost Plan	MBM
17	Industry and Employment SEPP Assessment	Willowtree Planning
18	Water Cycle Management Study	TTW



STATEMENT OF ENVIRONMENTAL EFFECTS

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STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

PART A SUMMARY

1.1 INTRODUCTION

This Statement of Environmental Effects (SEE) has been prepared by Willowtree Planning Pty Ltd (Willowtree Planning) on behalf of NSW State Emergency Service (SES) and is submitted to Goulburn Mulwaree (Council) in support of a Development Application (DA) at 56-58 Knox Street, Goulburn (The Subject Site), which captures the following land parcels:

- Lot 408 DP821783

This DA seeks development consent for **alterations and additions to the existing NSW State Emergency Service Zone Headquarters facility** at the Subject Site, including other necessary works, as described in **PART C** of this SEE.

The Subject Site is zoned E3 Productivity Support, pursuant to the *Goulburn Mulwaree Local Environmental Plan 2009* (GMLEP2009), which is intended to:

- *To provide a range of facilities and services, light industries, warehouses and offices.*
- *To provide for land uses that are compatible with, but do not compete with, land uses in surrounding local and commercial centres.*
- *To maintain the economic viability of local and commercial centres by limiting certain retail and commercial activity.*
- *To provide for land uses that meet the needs of the community, businesses and industries but that are not suited to locations in other employment zones.*
- *To provide opportunities for new and emerging light industries.*
- *To enable other land uses that provide facilities and services to meet the day-to-day needs of workers, to sell goods of a large size, weight or quantity or to sell goods manufactured on-site.*

The proposal seeks alterations and additions to the existing NSW SES Zone Headquarters facility, which is permitted within the E3 Productivity Support zone and aligns with the zone objectives.

The proposed works are permitted with consent and given the Applicant is a public authority, the DA is considered a Crown Development Application.

This SEE has been prepared pursuant to Section 4.12 of the *Environmental Planning and Assessment Act 1979* (EP&A Act) and Clause 50 and Part 1 of Schedule 1 of the *Environmental Planning and Assessment Regulation 2021* (EP&A Regulation). Assessment against the relevant matters for consideration under Section 4.15(1) of the EP&A Act has also been carried out under **PART D** of this SEE.

This SEE describes the Subject Site and proposed development, provides relevant background information and responds to the proposed development in terms of the relevant matters set out in relevant legislation, environmental planning instruments and planning policies.

The structure of the SEE is as follows:

- **PART A SUMMARY**
- **PART B SITE ANALYSIS**
- **PART C PROPOSED DEVELOPMENT**
- **PART D LEGISLATIVE AND POLICY FRAMEWORK**
- **PART E ENVIRONMENTAL ASSESSMENT**



STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

▪ PART F CONCLUSION

Based on the assessment undertaken, it is recommended that favourable consideration to the approval of the DA be given.

1.2 REQUIREMENTS FOR CONCURRENCE/OTHER APPROVALS

The proposal does not require the concurrence of any authorities.

1.3 PRE-LODGE MENT DISCUSSIONS WITH THE COUNCIL

Early discussions with the Council were undertaken to ensure that the development did not adversely impact surrounding development and amenity. These comments and responses are provided in **TABLE 1** below.

TABLE 1. PRE-LODGE MENT DISCUSSIONS		
Site Address	Comment	Response
56-58 Knox Street, Goulburn	The council was generally supportive of the development. No concerns were raised.	It is considered that any future requirements relating to construction will be conditioned and these will be strictly adhered to.



STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

PART B SITE ANALYSIS

2.1 SITE LOCATION AND CHARACTERISTICS

The Subject Site is identified as 56-58 Knox Street, Goulburn, containing the following land holdings:

TABLE 2. SITE IDENTIFICATION		
Site Address	Legal Description(s)	Land Area (approx.)
56-58 Knox Street, Goulburn	Lot 408 DP821783	1,987m ²

The Subject Site comprises an NSW SES Zone Headquarters facility operated by the NSW SES for the purposes of coordination and management of SES response to significant weather events. The Subject Site is currently located on the northwestern side of Knox Street, between Mary Street and Lansdowne Street, Goulburn. The Subject Site has a primary frontage to Knox Street which contains a vehicle crossover.

The surrounding development comprises low density industrial development. The closest residential receivers are located to the north fronting Mary Street.

The Subject Site is not identified as flood affected.

The location of the Subject Site and surrounding development are depicted in **Figure 1** and **Figure 2** below.



Figure 1: Cadastral Map (Source: SIX Maps, 2025)



STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)



Figure 2: Aerial Map (Source: Near Map, 2025)



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STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

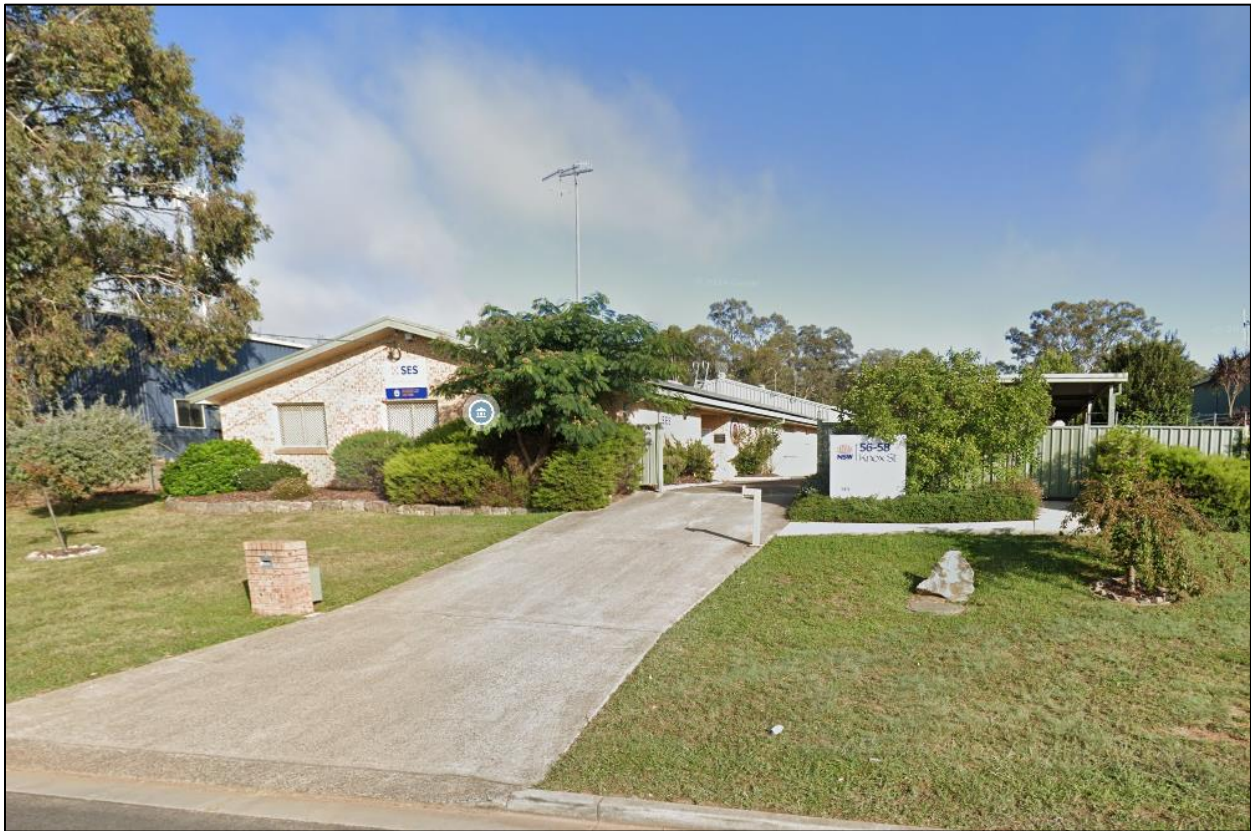


Figure 3: Street View of the Subject Site (Source: Google Maps, 2025)

2.2 SITE CONTEXT

The Subject Site is situated in the suburb of Goulburn, 201km Southwest of Sydney’s central business district (CBD), and falls under the jurisdiction of the Goulburn Mulwaree Municipal Council. As shown in **TABLE 3** below, the Subject Site is located near health and community facilities, schools, and sport facilities. The Subject Site is well-connected to the road network, with Knox Street providing access to Lansdowne Street, which leads to Hume Street, and from there, direct access to the Hume Highway. This connection links the Subject Site to areas such as Thurgoona and Lavington to the southwest, and the Sydney CBD to the north-east.

TABLE 3 below outlines the key features which are in close proximity to the Subject Site:

TABLE 3. SURROUNDING CONTEXT		
Direction	Key Features	Approx. Distance from the Subject Site (km)
North	Trinity Catholic College Goulburn	2.5
North-west	Pomeroy Rural Fire Brigade	14
West	Beks Bloomz	5
South-west	The Big Merino	2



STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

South	One Raceway (Previously Wakefield Park)	11.3
South-east	Goulburn Rail Heritage Centre	3.2
	Goulburn Clay Target Club	5.3
East	Rocky Hill War Memorial and Museum	4.9
North-east	Goulburn Base Hospital	2.6
	Goulburn & District Racing Club	9.4
	Hibernian Hotel	2.3
	Tully Park Early Birds Golf Club	5.7
	Goulburn West Public School	0.85

Figure 4 below demonstrates the surrounding Site context.



Figure 4: Site Context Map (Source Near Map, 2024)

2.3 DEVELOPMENT HISTORY

TABLE 4 outlined below provides a summary of the DAs, pertaining to the Subject Site and of relevance to the proposal, that have been determined or are under assessment.

TABLE 4. EXISTING CONSENTS		
DA Reference	Summary	Approval Date
DA/0238/0809	Storage Shed	18/03/2009

STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

PART C PROPOSED DEVELOPMENT

3.1 DEVELOPMENT OVERVIEW

This DA seeks consent for the alterations and additions to the existing SES Zone Headquarters facility. The proposed development would allow for a more efficient and effective response to significant weather events, in which the current headquarters lack the required facilities to appropriately coordinate responses. The proposed improvements aim to enhance the Subject Site by elevating its visual appeal from the Knox Street streetscape and improving the amenity of the rear area.

TABLE 5 and **TABLE 6** below provide a summary of the proposed works to the specific areas of the Subject Site.

TABLE 5. PROPOSED DEMOLITION WORKS	
Level / Area	Proposed Works
Existing Ground Floor	<ul style="list-style-type: none">▪ Demolition and removal of existing roller door;▪ Demolition and removal of existing downpipes;▪ Demolition and removal of existing windows, frames and subsils;▪ Removal of the existing UPS for internal relocation;▪ Demolition and removal of existing window, frame, and subsill;▪ Demolition and removal of existing exterior walls, with salvage of the bricks for re-use on window infills;▪ Demolition and removal of existing breakout kitchen;▪ Demolition and removal of existing garden bed and concrete guttering; and▪ Demolition and removal of existing walls and doors.
Existing Roof Level	<ul style="list-style-type: none">▪ Demolition and removal of existing roof sheeting, flashings and associated fixings;▪ Demolition and removal of existing gutters and downpipes;▪ Demolition and removal of existing roof sheeting and structure;▪ Demolition and removal of existing roof stair system;▪ Demolition and removal of existing roof sheeting and trusses below; and▪ Removal and relocation of existing solar panels.

TABLE 6. PROPOSED ADDITIONS AND ALTERATIONS WORKS	
Level / Area	Proposed Works
Proposed Ground Floor	<ul style="list-style-type: none">▪ Internal reconfiguration and fit-out to provide a training room, staff breakout room, communications room, parents/multipurpose room, semi-private workstations, offices, two (2) meeting rooms, open plan office, lobby, storage and utilities space and lift;▪ Provision of new landscaping;▪ Provision of new structural columns to exterior of existing building envelope;▪ Modification to existing path to accommodate new columns;▪ Installation of new windows and aluminium awnings;▪ Creation of opening in the existing shed wall for the installation of a new sliding door;▪ Creation of new opening in the existing wall for window relocation;



STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

	<ul style="list-style-type: none"> Extension of the existing window opening in preparation for a new window; Insertion of new footing and relocation of the existing antenna; Extension of the existing garden bed to accommodate new building footprint; Modification of the existing gate to reduce opening size to 3.4 meters; and Relocation of the existing card reader.
Proposed First Floor	<ul style="list-style-type: none"> Provision of incident control centre, situation room, multi-use room, offices, lobby, and open stairwell; Installation of high level windows; Provision of powdercoated aluminium window frame and awning; New lift shaft with cladding; New steel framed structure with cladding; and New roof sheeting, flashing and gutters to match existing height and pitch.
Proposed Roof Level	<ul style="list-style-type: none"> Relocation of existing solar panels; Provision of new roof sheeting; Provision of new gutters; and Provision of powdercoated aluminium window awning.

Architectural Plans of the proposed development have been provided in **Appendix 1**.

Figures 5, 6, 7, 8, 9 and 10 below depict the proposed site plan and ground floor demolition plan along with existing and proposed elevations.

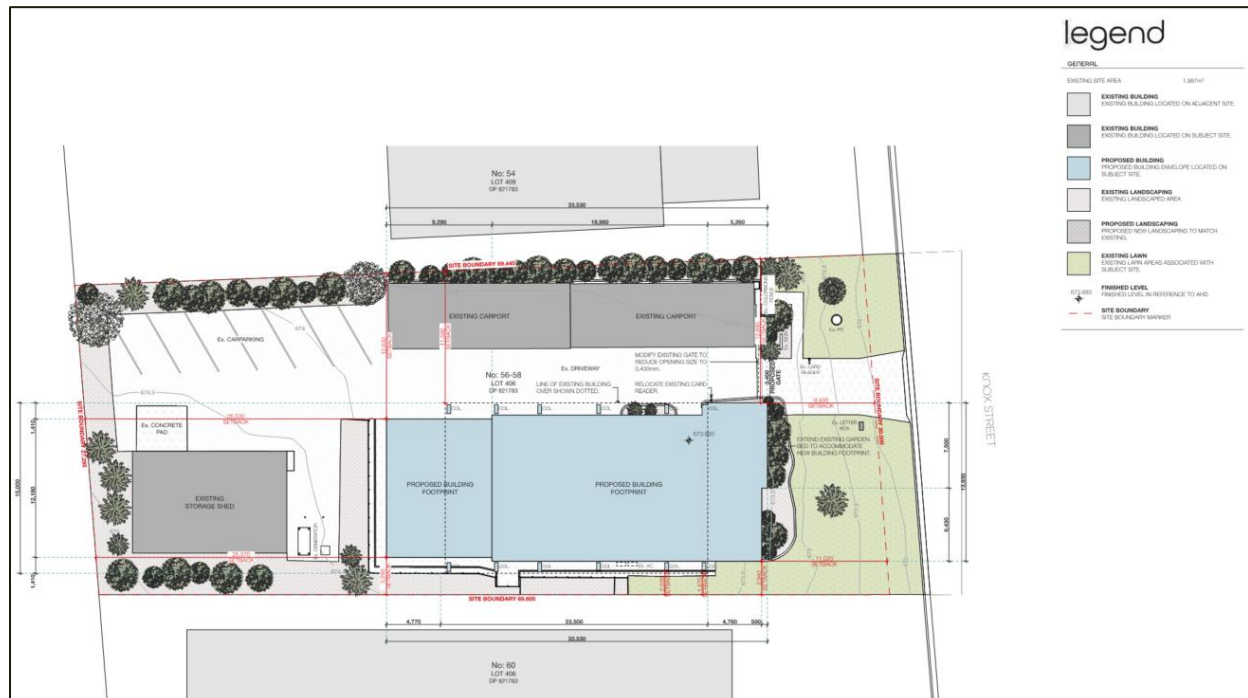


Figure 5: Proposed Site Plan (Source: Lead Architects 2024)



STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

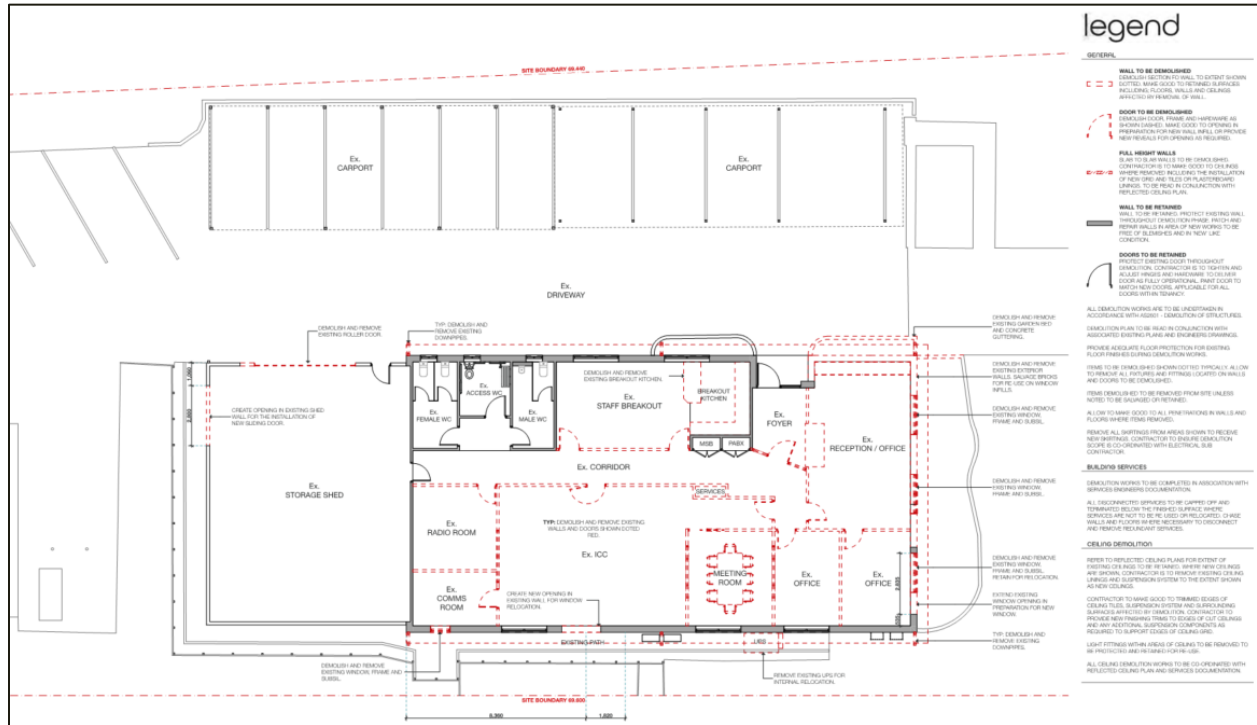


Figure 6: Proposed Ground Floor Demolition Plan (Source: Lead Architects 2024)

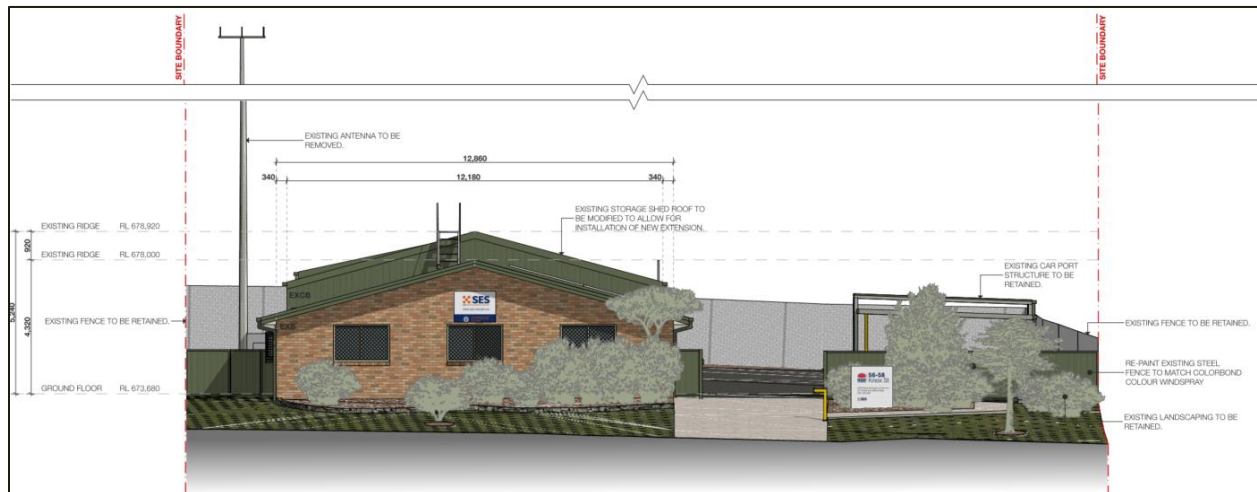


Figure 7: Existing South Elevation (Source: Lead Architects 2024)



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STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)



Figure 8: Proposed South Elevation (Source: Lead Architects, 2024)

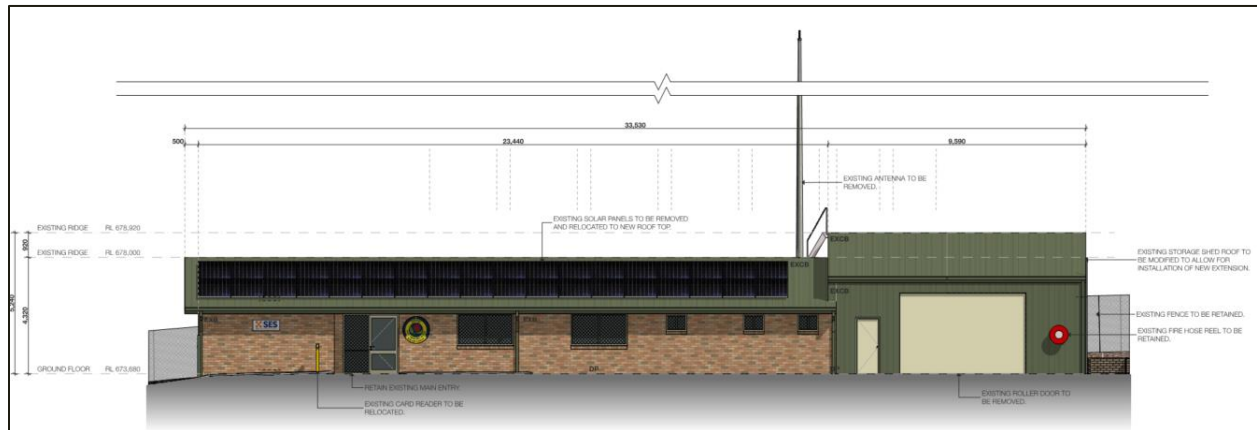


Figure 9: Existing East Elevation (Source: Lead Architects, 2024)

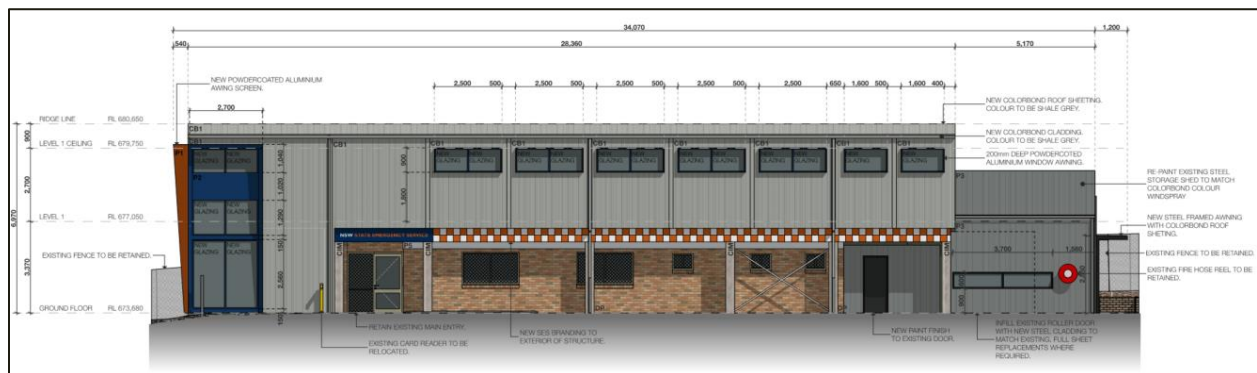


Figure 10: Proposed East Elevation (Source: Lead Architects, 2024)



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STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

3.2 DEVELOPMENT STATISTICS

The proposed development includes those works as identified in **TABLE 7** below.

It is noted that the day to day operations of the headquarters will generally remain unchanged, with the additional facilities being provided to be mostly utilised in response to significant weather events.

TABLE 7. DEVELOPMENT PARTICULARS	
Component	Proposed
Site Area	1,987m ²
Gross Floor Area	735.46m ²
Floor Space Ratio	0.38:1
Number of Levels	2
Car Parking	16 spaces
Infrastructure and Servicing	Adequate utility services are available to service the future development of the Subject Site.
Estimated Development Cost	\$3,261,569 excluding GST



STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

PART D LEGISLATIVE AND POLICY FRAMEWORK

4.1 CONTROLS AND POLICY OVERVIEW

This Part of the SEE addresses and responds to the legislative and policy requirements relevant to the proposed development at the Subject Site in accordance with the EP&A Act.

The following current and draft State and Local planning controls and policies have been considered in the preparation of this DA.

Commonwealth Planning Context

- *Commonwealth Environment Protection and Biodiversity Conservation Act 1999*

State Planning Context

- *Environmental Planning and Assessment Act 1979;*
- *Environmental Planning and Assessment Regulation 2021;*
- *Water Management Act 2000;*
- *Biodiversity Conservation Act 2016;*
- *Protection of the Environment Operations Act 1997;*
- *Heritage Act 1977;*
- *State Environmental Planning Policy (Resilience and Hazards) 2021;*
- *State Environmental Planning Policy (Industry and Employment) 2021;*
- *State Environmental Planning Policy (Transport and Infrastructure) 2021;*
- *State Environmental Planning Policy (Biodiversity and Conservation) 2021;* and
- *State Environmental Planning Policy (Sustainable Buildings) 2022.*

Local Planning Context

- *Goulburn Mulwaree Local Environmental Plan 2009;* and
- *Goulburn Mulwaree Development Control Plan 2009.*

4.2 COMMONWEALTH PLANNING CONTEXT

Under the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act), any action (which includes a development, project or activity) that is considered likely to have a significant impact on Matters of National Environmental Significance (MNES) (including nationally threatened ecological communities and species and listed migratory species) must be referred to the commonwealth minister for the Environment. The purpose of the referral is to allow a decision to be made about whether an action requires approval on a Commonwealth level. If an action is considered likely to have significant impact on MNES, it is declared a “controlled action”, and formal Commonwealth approval is required.

A search of the EPBC Act Protected Matters Search Tool has been undertaken. The proposal does not warrant significant impacts on MNES, therefore no further consideration of the EPBC Act is required.



STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

4.3 STATE PLANNING CONTEXT

4.3.1 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

The EP&A Act is the principal planning and development legislation in NSW.

4.3.1.1 Section 4.15(1) of the EP&A Act – Considerations

Section 4.15(1) of the EP&A Act specifies the matters which a consent authority must consider when determining a DA. The relevant matters for consideration under Section 4.15(1) of the EP&A Act are provided in **TABLE 8** below.

TABLE 8. SECTION 4.15(1)(A) CONSIDERATIONS	
Section	Response
Section 4.15(1)(a)(i) any environmental planning instrument, and	The GMLEP2009 is the relevant Environmental Planning Instrument (EPI) applying to the Subject Site, which is assessed in Section 4.5.1 of this SEE.
Section 4.15(1)(a)(ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and	There are no proposed EPIs that have been subject to public consultation which are relevant to the Subject Site or proposal.
Section 4.15(1)(a)(iii) any development control plan, and	The <i>Goulburn Mulwaree Development Control Plan 2009</i> (GMDCP2009) applies to the Subject Site and is addressed in Section 4.5.2 and Appendix 7 of this SEE.
Section 4.15(1)(a)(iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and	There are no Voluntary Planning Agreements (VPA) applicable to the Subject Site.
Section 4.15(1)(a)(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph),	The EP&A Regulation is addressed in Section 4.3.2 of this SEE.
Section 4.15(1)(b)-(c)	These matters are addressed in PART E of this SEE.

The consent authority for the proposed development is Goulburn Mulwaree Municipal Council.

4.3.2 Division 4.6 Crown Development of the EP&A Act 1979

Pursuant to Division 4.6, the DA is considered a Crown DA as the Applicant is a public authority (NSW SES) as identified in the EP&A Regulation, Section 294(a).



STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions to the Existing NSW Emergency Service Zone Headquarters Facility
56-58 Knox Street, Goulburn (Lot 408 DP821783)

4.3.3 4.46 of the EP&A Act 1979

This DA is considered a Crown DA under Division 6 of the EP&A Act and as such, the proposed development would not constitute Integrated Development and does not require referral under Section 4.46 of the EP&A Act.

4.3.4 ENVIRONMENTAL PLANNING AND ASSESSMENT REGULATION 2021

The proposal has been prepared in accordance with the provisions of the EP&A Regulation. Division 1 of Part 3 of the EP&A Regulation stipulates how a DA must be “made”. This DA satisfies the relevant criteria of the Regulation as follows:

TABLE 9. HOW THE DA IS MADE	
Considerations	Response
Division 1 – Making development applications	
<i>Section 23 – Persons who may make development applications</i>	
<i>(1) A development application may be made by— (a) the owner of the land to which the development application relates, or (b) another person, with the consent of the owner of the land.</i>	This DA is made by NSW SES. The owner of the land has provided consent (in accordance with Clause 23(1) of the EP&A Regulation to allow for the DA to be made.
<i>Section 24 – Content of development applications</i>	
<i>(1) A development application must— (a) be in the approved form, and (b) contain all the information and documents required by— (i) the approved form, and (ii) the Act or this Regulation, and (c) be submitted on the NSW planning portal.</i>	The DA includes all relevant information including details of the development, address and formal particulars, estimated cost of development, owner’s consent, supporting documents including detailed plans and SEE. This DA is submitted via the NSW planning portal.
<i>Section 25 – Information about concurrence or approvals</i>	
<i>A development application must contain the following information— (a) a list of the authorities – (i) from which concurrence must be obtained before the development may lawfully be carried out, and (ii) from which concurrence would have been required but for the Act, section 4.13(2A) or 4.41, (b) a list of the approvals of the kind referred to in the Act, section 4.46(1) that must be obtained before the development may lawfully be carried out.</i>	As detailed in Section 4.3.3 above.



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4.3.5 WATER MANAGEMENT ACT 2000

The object of the *Water Management Act 2000* (WM Act) is the sustainable and integrated management of the state's water for the benefit of both present and future generations.

The Subject Site is not within 40m of a watercourse and therefore, further consideration of the WM Act is not warranted.

4.3.6 BIODIVERSITY CONSERVATION ACT 2016

The *Biodiversity Conservation Act 2016* (BC Act) sets out, among other things, to establish a scientific method for assessing the likely impacts on biodiversity values of proposed development and land use change.

The Subject Site is not identified as containing areas mapped on the Biodiversity Values Map (BV Map) and will not involve the significant clearing of land and therefore, further consideration of the BC Act is not warranted.

4.3.7 PROTECTION OF THE ENVIRONMENT OPERATIONS ACT 1997

Schedule 1 of the *Protection of Environment & Operations Act 1997* (POEO Act) contains a core list of activities that require a licence before they may be undertaken or carried out. The definition of an 'activity' for the purposes of the POEO Act is "*an industrial, agricultural or commercial activity or an activity of any other nature whatever (including the keeping of a substance or an animal).*"

Schedule 1 of the POEO Act details a series of schedule activities that will generally not require consideration given the nature of the proposed development.

4.3.8 HERITAGE ACT 1977

The Subject Site is not identified as containing an item listed on the State Heritage Register and therefore, further consideration of the *Heritage Act 1977* is not warranted.

4.3.9 STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021

The *State Environmental Planning Policy (Resilience and Hazards) 2021* (Resilience and Hazards SEPP) contains planning provisions relating to:

- Land use planning within the coastal zone, in a manner consistent with the objects of the *Coastal Management Act 2016*;
- Management of hazardous and offensive development; and
- Remediation of contaminated land and to minimise the risk of harm.

In relation to the Subject Site, the following matters are highlighted.

Remediation of land

Under the provisions of Chapter 4 of the Resilience and Hazards SEPP, where a DA is made concerning land that is contaminated, the consent authority must not grant consent unless (as stipulated by Clause 4.6 of the SEPP):

- (a) *it has considered whether the land is contaminated, and*



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- (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
- (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

The proposed development does not seek to change the existing use of the Subject Site and does not seek to undertake any earthworks. As such, no further investigation having regard to contamination is warranted.

No Bulk Earthworks required but foundation piers for the Structural Steel Columns will be required.

4.3.10 STATE ENVIRONMENTAL PLANNING POLICY (INDUSTRY AND EMPLOYMENT) 2021

State Environmental Planning Policy (Industry and Employment) 2021 (Industry and Employment SEPP) contains planning provisions relating to:

- Employment land in western Sydney; and
- Advertising and signage in NSW.

One (1) building identification sign is proposed and as such consideration of Chapter 3 of the Industry and Employment SEPP is warranted. Chapter 3.1 of the Industry and Employment SEPP sets out the following aims and objectives:

- (1) This Chapter aims—*
 - (a) to ensure that signage (including advertising)—*
 - (i) is compatible with the desired amenity and visual character of an area, and*
 - (ii) provides effective communication in suitable locations, and*
 - (iii) is of high quality design and finish, and*
 - (b) to regulate signage (but not content) under Part 4 of the Act, and*
 - (c) to provide time-limited consents for the display of certain advertisements, and*
 - (d) to regulate the display of advertisements in transport corridors, and*
 - (e) to ensure that public benefits may be derived from advertising in and adjacent to transport corridors.*
- (2) This Chapter does not regulate the content of signage and does not require consent for a change in the content of signage.*

An assessment of the proposed development against the relevant sections of the Industry and Employment SEPP, included assessment against the relevant criteria in Schedule 5, is provided at **Appendix 17**. The proposed development is considered to be consistent with the provisions of the Industry and Employment SEPP and is acceptable in this regard.

4.3.11 STATE ENVIRONMENTAL PLANNING POLICY (TRANSPORT AND INFRASTRUCTURE) 2021

State Environmental Planning Policy (Transport and Infrastructure) 2021 (Transport and Infrastructure SEPP) contains planning provisions relating to:



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- Infrastructure in NSW, such as hospitals, roads, railways, emergency services, water supply and electricity delivery;
- Child-care centres, schools, TAFEs and Universities;
- Planning controls and reserves land for the protection of three corridors (North South Rail Line, South West Rail Link extension and Western Sydney Freight Line); and
- Land use planning and assessment framework for appropriate development at Port Kembla, Port Botany and Port of Newcastle.

Of these, the proposed development must have regard to the following chapters:

Chapter 2 – Infrastructure

Chapter 2, Division 6 of the Transport and Infrastructure SEPP relates to development for emergency services facilities. Specifically, Clause 2.51 provides provisions for development permitted with consent as follows:

- (1) *Development for the purpose of an emergency services facility may be carried out with consent in a prescribed zone by or on behalf of the NSW Rural Fire Service or an emergency services organisation that is not a public authority.*
- (2) *Development for the purpose of an emergency services facility may be carried out with consent by or on behalf of a public authority (other than the NSW Rural Fire Service) on any land.*
- (3) *Development to which subsection (2) applies may only be carried out on land reserved under the National Parks and Wildlife Act 1974 if it is authorised by or under that Act.*

Clause 2.122 Traffic-generating development

Referral is required for the erection of new premises, or the enlargement or extension of existing premises, where their size or capacity satisfy certain thresholds. Schedule 3 lists the types of development that are defined as Traffic Generating Development. The referral thresholds identified specifically for emergency service facilities are as follows:

- **200 or more vehicles per hour.**
- 50 or more motor vehicles per hour (if access within 90m of connection, measured along alignment of connecting road).

The proposed development will not result in additional traffic generation. As such, the proposed development is not considered to be Traffic Generating Development.

4.3.12 STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY CONSERVATION) 2021

The *State Environmental Planning Policy (Biodiversity and Conservation) 2021* (Biodiversity and Conservation SEPP) contains:

- Planning rules and controls for the clearing of native vegetation in NSW on land zoned for urban and environmental purposes that is not linked to a development application;
- The land use planning and assessment framework for koala habitat;
- Provisions which establish a consistent and co-ordinated approach to environmental planning and assessment along the River Murray;
- Provisions seeking to protect and preserve bushland within public open space zones and reservations;
- Provisions which aim to prohibit canal estate development;



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- Provisions to support the water quality objectives for the Sydney drinking water catchment;
- Provisions to protect the environment of the Hawkesbury-Nepean River system;
- Provisions to manage and improve environmental outcomes for Sydney Harbour and its tributaries;
- Provisions to manage and promote integrated catchment management policies along the Georges River and its tributaries; and
- Provisions which seek to protect, conserve and manage the World Heritage listed Willandra Lakes property.

Some clearing of vegetation will be required around the building envelope for new works as per landscape plan.

4.3.13 STATE ENVIRONMENTAL PLANNING POLICY (SUSTAINABLE BUILDINGS) 2022

The *State Environmental Planning Policy (Sustainable Buildings) 2022* (Sustainable Buildings SEPP) aims to encourage the design and delivery of sustainable buildings.

The proposal is for alterations and additions of an existing NSW State Service Zone Headquarters facility with an estimated development of less than \$10 million. Therefore, further consideration of the Sustainable Buildings SEPP is not required.

4.4 DRAFT ENVIRONMENTAL PLANNING INSTRUMENTS

No Draft Environmental Planning Instruments apply to the proposed development.

4.5 LOCAL PLANNING CONTEXT

4.5.1 GOULBURN MULWAREE LOCAL ENVIRONMENTAL PLAN 2009

The GMLEP2009 is the primary Environmental Planning Instrument that applies to the Subject Site.

The relevant provisions of GMLEP2009 as they relate to the Subject Site are considered in the following subsections.

4.5.1.1 Zoning and Permissibility

The Subject Site is located within the E3 Productivity Support zone under the GMLEP2009 as shown in **Figure 11**.



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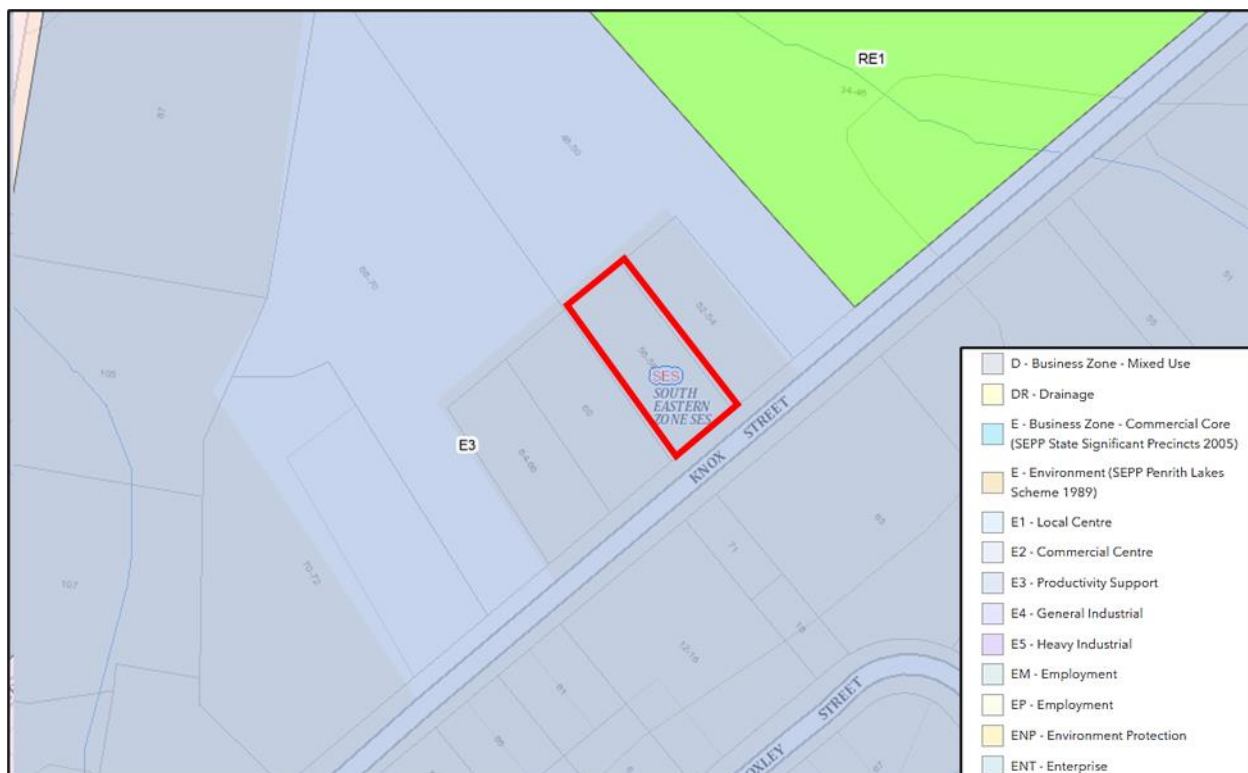


Figure 11: GMLEP2009 Zoning Map (Source: ePlanning Spatial Viewer)

The objectives of the E3 zone include:

- To provide a range of facilities and services, light industries, warehouses and offices.
- To provide for land uses that are compatible with, but do not compete with, land uses in surrounding local and commercial centres.
- To maintain the economic viability of local and commercial centres by limiting certain retail and commercial activity.
- To provide for land uses that meet the needs of the community, businesses and industries but that are not suited to locations in other employment zones.
- To provide opportunities for new and emerging light industries.
- To enable other land uses that provide facilities and services to meet the day to day needs of workers, to sell goods of a large size, weight or quantity or to sell goods manufactured on-site.

Within the E3 zone, the following development is permitted without consent:

Roads

Within the E3 zone, the following development is permitted with consent:

Agricultural produce industries; Animal boarding or training establishments; Boat building and repair facilities; Business premises; Centre-based child care facilities; Community facilities; Depots; Function centres; Garden centres; Hardware and building supplies; Hotel or motel accommodation; Industrial retail outlets; Industrial training facilities; Information and education



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*facilities; Landscaping material supplies; Light industries; Local distribution premises; Markets; Mortuaries; Neighbourhood shops; Office premises; Oyster aquaculture; Passenger transport facilities; Places of public worship; Plant nurseries; Recreation areas; Recreation facilities (indoor); Recreation facilities (major); Recreation facilities (outdoor); Research stations; Respite day care centres; Rural supplies; Service stations; Specialised retail premises; Storage premises; Take away food and drink premises; Tank-based aquaculture; Timber yards; Vehicle body repair workshops; Vehicle repair stations; Vehicle sales or hire premises; Veterinary hospitals; Warehouse or distribution centres; Wholesale supplies; **Any other development not specified in item 2 or 4***

Within the E3 zone, the following development is prohibited:

Agriculture; Air transport facilities; Airstrips; Boat launching ramps; Boat sheds; Camping grounds; Caravan parks; Cellar door premises; Cemeteries; Charter and tourism boating facilities; Correctional centres; Crematoria; Electricity generating works; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Forestry; Heavy industrial storage establishments; Helipads; Home-based child care; Home businesses; Home occupations (sex services); Industries; Jetties; Marinas; Moorings; Mooring pens; Open cut mining; Residential accommodation; Rural industries; Sewerage systems; Sex services premises; Waste or resource management facilities; Water recreation structures; Water supply systems; Wharf or boating facilities

Emergency services facilities are permitted with consent within the E3 zone.

4.5.1.2 Development Standards

TABLE 10 outlines the developments consistency and compliance with the relevant development standards and controls under GMLEP2009.

TABLE 10. DEVELOPMENT STANDARDS	
Clause	Comment
Clause 4.1 – Minimum Lot Size	No minimum lot size applicable.
Clause 4.3 – Height of Buildings	No maximum building height applicable. The proposal provides for a building height of 6.9 metres, which is an increase of 1.7 metres from the existing building.
Clause 4.4 – Floor Space Ratio	The Subject Site is subject to a maximum floor space ratio of 0.8:1. The proposal provides a FSR of 0.37:1 which is compliant with clause 4.4.
Clause 5.10 – Heritage	Not located within a heritage conservation area or identified as a heritage item.



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4.5.2 GOULBURN MULWAREE DEVELOPMENT CONTROL PLAN 2009

The GMDCP2009 provides detailed planning and design guidelines to support the planning controls of the GMLP2009.

An assessment of the proposal against the relevant sections of the GMDCP2009 is provided at **Appendix 17**.

4.5.3 GOULBURN MULWAREE LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN 2021

The Goulburn Mulwaree Local Infrastructure Contributions Plan 2021 (GMLICP) is the applicable development contributions plan for the site. Section 1.3.3 of the GMLICP outlines the types of development that are exempted from contributions or levies. The plan outlines that *public amenities, services and facilities provided by the Council, including any works contained in the works schedule of this Plan* are exempt from contributions.

The proposal is for a state emergency services facility and will be carried out by a public authority, and it is therefore requested that an exemption be granted.



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PART E LIKELY IMPACTS OF THE DEVELOPMENT

This section identifies and assesses the impacts of the development with specific reference to the heads of consideration under Section 4.15(1) of the EP&A Act.

5.1 CONTEXT AND SETTING

The proposed development for NSW SES Zone Headquarters facility would promote the efficient use of the land and meet the objectives set out within the GMLEP2009.

The proposed development is compatible with the prevailing character of the area. Importantly, the proposed development is generally in accordance with the development standards specified by the GMLEP2009. It also demonstrates compliance with the majority of development controls specified under the GMDCP2009.

The proposal will not exhibit any undue environmental impacts and will not adversely impact the amenity of neighbouring properties. Therefore, the proposed development is considered compatible with the Subject Site context.

5.2 BUILT FORM

The proposed development has been architecturally designed and incorporates high quality materials and finishes, positively contributing to the visual character of the area.

Façade articulation has been achieved through windows, glazing, awning screen, illuminated SES signage in front and side elevations, varied setbacks with elements of the building mass 'stepped in', and a variety of high-quality materials and finishes.

The proposal complies with all the built form controls prescribed by the GMDCP2009.

5.3 AMENITY

Given the siting, scale and design of the development, the proposed development will not result in any unreasonable impacts on the industrial amenity of neighboring properties having regard to solar access and privacy. A summary of the impacts to amenity has been summarized below.

4.5.4 PRIVACY

The proposed development includes modifications that significantly enhance privacy for both the Subject Site and neighboring properties, to which the Subject Site adjoins. The plans feature no windows on the first floor on the west elevation which will reduce visibility to 60 Knox Street, Goulburn thereby improving privacy and reduce noise impacts.

Regarding the neighboring property at 52-54 Knox Street, Goulburn, the first-floor east elevation includes windows; however, these do not compromise privacy, as the neighboring building is a single-story structure. Therefore, there will be no direct line of sight from these windows into the neighboring property.

Additionally, internal layout changes and strategic adjustments to window locations and sizes have been implemented to further enhance privacy and overall amenity. The architectural plans and CGIs included in **Appendix 1** demonstrate that the proposal preserves the visual sense of separation between buildings, ensuring that the development remains consistent with the surrounding area's character.



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The proposal has been designed to achieve optimal solar gain at the site. The building benefits from a southwestern orientation with landscaping located to the front of the building to achieve optimal levels of sunlight.

5.4 LANDSCAPING

A Landscaping Plan has been prepared and is provided within **Appendix 5**.

The proposed development features both existing and new landscaping components. The existing landscaping areas will be maintained and supplemented with additional landscaping around the extended building footprint to integrate the new structures visually and functionally into the Subject Site. This extension will include modifications to the surrounding garden beds and pathways to accommodate the new building alignment and entry points. Trees and grass areas will be retained, helping to maintain the Subject Site's green buffer and reduce environmental impacts such as heat reflection from the paved or built-up areas.

Overall, the landscaping modifications are designed to blend with existing green spaces, enhancing Subject Site's accessibility while minimizing visual impacts and maintaining a cohesive aesthetic for the SES facility. It has been designed in accordance with the requirements of GMDCP2009, an assessment of which has been provided within **Appendix 7**.

5.5 ACCESS

An Access Compliance Statement has been prepared by MBC Group and is provided within **Appendix 14**. The statement outlines the findings of an assessment of the referenced architectural documentation for the proposed development against the Deemed-to-Satisfy provisions of the National Construction Code Series (Volume 1) Building Code of Australia 2022. It is confirmed that compliance with the National Construction Code Series (Volume 1) Building Code of Australia 2022 amendment 1 is readily achievable.

5.6 TRAFFIC IMPACT

A Traffic Impact Statement (TIS) has been prepared and is provided within **Appendix 8**. The TIS outlines that the proposed additional building storey serves to provide improved facilities, however there is no resulting increase in staff proposed. Hence the proposed works at the SES facility will not result in any changes to traffic generation or parking.

With regard to parking impacts, the GMDCP2009 has been reviewed for traffic and parking requirements. There are no specific number of space requirements for the SES facility type. As there is no traffic generation associated with the proposed works, it is determined that maintaining existing parking numbers for the facility will be sufficient.

5.7 FLOOD IMPACT

The Subject Site is not identified as Flood affected in the GMLEP2009.

5.8 NOISE IMPACT

A Noise Impact Assessment has been prepared and is provided within **Appendix 12**. The report has assessed operational noise egress criteria and predictive assessment, external noise ingress criteria, and construction noise and vibrations.



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The assessment has found that during emergency operation of the back-up diesel generator, noise impacts may be noted, particularly during night-time hours. Given the infrequent nature of this noise event, comprehensive mitigation may not be reasonable, however options for noise mitigation have been provided.

5.9 CONSTRUCTION

All works on the Subject Site will be carried out in accordance with conditional requirements of any consent issued. Appropriate measures will be undertaken to mitigate potential impacts from the development including dust, noise, odors, traffic impact and erosion.

Section 5 of the Noise Impact Assessment (**Appendix 12**) provides mitigation measures with regard to construction noise and vibration in the form of a recommended Construction Noise and Vibration Management Plan (CNVMP) that shall be prepared prior to construction commencement.

5.10 WASTE

A Waste Management Plan has been prepared and is provided within **Appendix 10**, providing details of waste management and minimization for the development.

5.11 SAFETY AND SECURITY

The principles of Crime Prevention Through Environmental Design (CPTED) have been considered in the design of the proposed development.

The CPTED guidelines were prepared by the NSW Police in conjunction with the Department of Planning. CPTED provides a clear approach to crime prevention and focuses on the 'planning, design and structure of cities and neighbourhoods. The main aim of the policy is to:

- Limit opportunities for crime;
- Manage space to create a safe environment through common ownership and the encouraging the general public to become active guardians; and,
- Increase the perceived risk involved in committing crime.

The guidelines provide four (4) key principles to limit crime, including:

- Natural Surveillance;
- Access Control;
- Territorial Reinforcement; and,
- Space Management.

Principle 1 - Surveillance:

The attractiveness of crime targets can be reduced by providing opportunities for effective surveillance, both natural and technical.

- The front windows at ground and first floor level provide opportunities for passive surveillance of the streetscape; and
- The proposed development utilises suitable landscaping to ensure there would be no obstruction of surveillance opportunities.



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Principle 2 – Access Control

Access Control can be defined as physical and symbolic barriers that are used to 'attract, channel or restrict the movement of people'.

- Entry to the development is through a clearly delineated entry to clearly define the public and private domains to deter unauthorised access to the Subject Site.

Principle 3 – Territorial Reinforcement

Territorial Reinforcement can be described as creating a sense of ownership to a public space or vicinity, encouraging the usage of that space. By increasing the usage capability, this also deters crimes and further increases the chances of a crime being witnessed and reported in a timely manner.

- The secure entrance to the building emphasises the separation between the private and public domain; and,
- Well maintained landscape design indicates the development would be well-used and cared for to reduce criminal activity.

Principle 4 – Space Management

Space Management is intuitive of Principle 3 – Territorial Reinforcement – and refers to ensuring a space is utilised and cared for appropriately.

- Pathways and planters would be well maintained;
- Continuous proposed repairs and maintenance would discourage vandalism; and
- High quality materials and landscaping along boundaries is provided to assist in discouraging vandalism and graffiti.

The proposed development would successfully integrate the four (4) principles outlined to limit crime outlined in the CPTED guidelines

5.12 FIRE ENGINEERING

ADP Consulting are the fire safety engineers for the project and a fire safety statement is provided within **Appendix 15**. ADP have reviewed the proposed project in relation to compliance with the Fire Safety Performance Requirements of the NCC Volume One (2022). The intended fire safety design will comply with the Performance Requirements through a combination of fire engineering Performance Solutions and compliance with Deemed-to-Satisfy (DtS) Provisions to create an overall holistic fire safety strategy.

The statement concludes that there are no significant fire safety design issues in the proposal that would prevent the issuing of a Development Application for the project.

5.13 HAZARDOUS MATERIALS ASSESSMENT

A Hazardous Materials Assessment has been prepared and is provided within **Appendix 9**. The assessment was undertaken to identify specific hazardous building materials (HBM) at the Subject Site. The materials which were inspected as part of the assessment are as follows:



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- Asbestos-Containing Materials (ACM);
- Lead-Containing Paint (LCP);
- Synthetic Mineral Fibre (SMF) materials;
- Polychlorinated Biphenyls (PCB) containing capacitors in fluorescent light fittings; and
- Ozone-Depleting Substances (ODS).

The objective of the assessment was undertaken to fulfil legislative requirements for identifying HBM as part of the day to day management of the Subject Site.

The report findings outline that no high-risk items were identified during the assessment.

5.14 BUILDING CODE OF AUSTRALIA

A BCA Capability Statement has been prepared and is provided within **Appendix 13**. The purpose of the assessment is to provide surety to Council that the proposed development has been assessed and is capable of complying with the BCA and that subsequent compliance with the provisions of Parts C, D and E of the BCA will not give rise to significant design amendments.

The report concludes that compliance with the National Construction Code Series (Volume 1) Building Code of Australia 2022 is readily achievable.

5.15 CUMULATIVE IMPACTS

No foreseeable cumulative impacts are to result from the proposed development. Rather the proposed development seeks to enhance the existing Emergency Service facility within the Council.

5.16 SUITABILITY OF SITE FOR DEVELOPMENT

The Subject Site is located within an established industrial area. The proposed development supports the existing use of the Subject Site for the purpose of an Emergency Service facility which is consistent with the surrounding context.

Having regard to the characteristics of the Subject Site, context and locality, the Subject Site is considered suitable in accommodating the proposed alterations and additions for the following reasons:

- The proposed development will contribute to the existing area and will improve the appearance of the development when viewed from the streetscape; and
- The Subject Site is capable of being developed in a manner that will minimise impact to the natural, artificial, and environmental qualities of the Subject Site and neighbouring sites, with any impacts appropriately managed and mitigated.

The Subject Site is therefore considered to be suitable for the proposed development.

5.17 THE PUBLIC INTEREST

The proposal will have no adverse impact on the public interest and is in accordance with the aims and objectives of GMLEP2009 and GMDCP2009. Therefore, development is considered to be in the public interest.



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PART F CONCLUSION

The purpose of this SEE has been to present the proposed alterations and additions to the existing NSW State Emergency Service Zone Headquarters facility at 56-58 Knox Street, Goulburn and to assess its potential impacts having regards to Section 4.15(1) of the EP&A Act.

The proposal has been prepared after taking into consideration the following key issues:

- The development history of the Subject Site;
- The context of the Subject Site;
- The relevant heads of consideration under Section 4.15(1) of the EP&A Act; and
- The aims, objectives and provisions of the relevant statutory and non-statutory planning instruments.

The proposal is considered to warrant a favourable determination for the following reasons:

- It is permissible with development consent and consistent with the objectives of the E3 Productivity Support zone pursuant to GMLEP2009;
- It is appropriate within the context of the Subject Site and surrounding locality;
- It represents a suitable and appropriate development as assessed against the relevant heads of consideration under Section 4.15 of the EP&A Act;
- The development shall not create any adverse amenity impacts on the surrounding sites or public domain; and
- The proposal is generally consistent with the relevant objectives and controls of GMLEP2009 and GMDCP2009.

The proposed development is permissible within the zone and is compatible with the zone objectives. As stipulated previously in this SEE, the matters for consideration under Section 4.15(1) of the EP&A Act have been satisfactorily addressed.

In light of the merits of the proposed development and in absence of any significant environmental impact, the proposed development warrants support by Council.

